

CLAYTON JOINT TOWN/VILLAGE ZONING BOARD OF APPEALS AGENDA

Meeting of Monday, March 16, 2026 at 7:00 PM

7:00 PM: Consider minutes of previous meeting/meetings

7:00 PM: Public Hearing for River Roc Storage LLC  
Area variance to locate a 60' x 160' storage building in the  
Agricultural District

(Town)

7:00 PM: Public Hearing for William H. Colwill  
Area variance to locate a 10' x 14' storage shed in the Marine  
Residential District

(Town)

New Business

Unfinished Business

Adjourn the Meeting

**JOINT TOWN/VILLAGE OF CLAYTON  
ZONING BOARD OF APPEALS  
February 23, 2026**

**The meeting opened at 7:00 pm with the following members present:** Steve Mack; Dale MacLaughlin; PJ Schleher; Nick Reddick. **Absent:** *Chip Garnsey; Mike McMahon.*

**Also Present:** Richard Ingerson, Town Code/Zoning Enforcement Officer; James Kenney, Town Board Liaison; Recording Clerk Mariah LaClair.

**Townspople Present:** Kevin Patchen; Christine Thurston.

**Communications:** N/A

**Minutes- MOTION** to approve the December 2025 ZBA minutes with corrections made by Dale MacLaughlin, seconded by PJ Schleher. All in favor, motion carried. There are no meeting minutes for January 2026 due to meeting cancellation.

**New Business:**

**1. (Town)**

**Applicant:** Carlos Plaza

**Application Number:** T-VAR-001-26

**Action:** 9'5" Variance for 2 lots made from a subdivision

**Site Location:** County Rte. 11, LaFargeville, NY 13656 (Tax Map #42.14-1-31.1)

**Information:** The applicant is subdividing a lot in the Hamlet of Depauville. He needs 80' of frontage for each lot and his is splitting the frontage in the middle so each lot will lack 9'5" of road frontage. There are no homes or other structures on the lot currently. If any homes are built on either lot, they will need to hook up to the Depauville sewer and will have curb cuts on the driveway that would help with drainage. The applicant would need to contact the County Highway Department to implement that curb cut.

**MOTION** to close the public hearing for the Plaza variance application T-VAR-001-26 made by Dale MacLaughlin, seconded by Nick Reddick. All in favor, motion carried.

**MOTION** to declare the Plaza variance application T-VAR-001-26 a Type II action made by Dale MacLaughlin, seconded by PJ Schleher. All in favor, motion carried. Steve Mack went through the finding of fact.

**MOTION** to approve the Plaza variance application T-VAR-001-26 as submitted made by Dale MacLaughlin, seconded by PJ Schleher.

**AYE:** Mack; MacLaughlin; Reddick; Schleher.

**NAY: None      ABSTAIN: None      ABSENT: Garnsey; McMahon**

**APPROVED**

**2. (Town)**

**Applicant: Kevin Patchen**

**Application Number: T-VAR-002-26**

**Action: 15' North Front-Yard Variance**

**Site Location: 17582 Ridge Road, LaFargeville, NY 13656 (Tax Map #42.00-2-18.2)**

**Information:** The applicant is seeking a variance to construct a garage 40' from the center of the road. There is an existing building there however it is in poor condition and he would like to remove it and build a garage instead. Due to the leech and septic placement, it is the best location for a new building. The garage will be 36' by 24' and will also store firewood. The road is a dead-end road with no close neighbors. The applicant owns both sides of the roads.

**MOTION** to close the public hearing for the Patchen variance application T-VAR-002-26 made by Dale MacLaughlin, seconded by PJ Schleher. All in favor, motion carried.

**MOTION** to declare the Patchen variance application T-VAR-002-26 a Type II action made by PJ Schleher, seconded by Nick Reddick. All in favor, motion carried. Steve Mack went through the finding of fact.

**MOTION** to approve the Patchen variance application T-VAR-002-26 as submitted made by PJ Schleher, seconded by Nick Reddick.

**AYE: Mack; MacLaughlin; Reddick; Schleher**

**NAY: None      ABSTAIN: None      ABSENT: Garnsey; McMahon**

**APPROVED**

**Motion** was made to adjourn the meeting at 7:27 PM by Dale MacLaughlin, seconded by PJ Schleher. All in favor, motion carried.

*Respectfully submitted,*

*Mariah LaClair, Recording Clerk*

**JEFFERSON COUNTY PLANNING BOARD  
REFERRAL NOTICE**



**PART 1) MUNICIPAL INFORMATION**

**Municipality referring project:**

Town of Clayton

**Board referring project:**

- Planning Board**       **ZBA**       **City Council**  
 **Village Board**       **Town Board**

**Contact Name:**

Richard A. Ingerson

**Address:**

P.O Box 179

Clayton, NY 13624

**Phone #:**

**Email address:**

315-686-6013 codes@townofclayton.com

(Referral certification **MUST BE SIGNED** on page 3)

**Date:** 2/12/2026

**PART 2) REFERRAL TYPE AND PROXIMITY**

**Type of action(s):** ✓ Check all that apply:

- Site Plan                                       Area Variance  
 Special Permit                                   Use Variance  
 Zoning Map Amendment                       Comprehensive Plan Update / Adoption  
 Zoning Law Amendment                       Land Use Moratorium

**The referral is required because the property is located within 500 ft. of:** ✓ Check all that apply.

- NYS/US Route # \_\_\_\_\_                       County Road # 3 \_\_\_\_\_  
 Municipal Boundary                               NYS / County Park / Recreation Area  
 NYS/County owned land                           County R-O-W for a stream or drainage channel  
 Farm operation located in an Agricultural District

**Submission materials provided (full statement of the action):** ✓ Check all that apply.

- Local application form                               Site Plan  
 Text of Amendment                                   Zoning Map changes  
 SEQR Short Form or Full EAF                       Other materials submitted by applicant

**- All three pages must be completed and returned -**

**PART 3) PROJECT/ZONING INFORMATION**

**Applicant Name and Mailing Address:** River Roc Storage LLC/Mark Morgla

13322 House Road

Clayton, NY 13624

**Applicant Email address:** \_\_\_\_\_

**Property Address or Location:** 15934 County Route 3

**Tax Parcel Number(s):** 20.15-1-21.2

**HOW IS PROPOSED USE DEFINED IN ZONING LAW:** Small Commercial Enterprise

**Description of the project:** Erect a 60' x 160' Boat Storage Building

**Zoning district the property is in:** AR

**Existing or current land use of the property:** Boat Storage has 3 existing storage buildings on parcel

**PART 4 a) NEEDED INFORMATION FOR ZONING TEXT\MAP AMENDMENTS OR MORATORIUMS:**

**In addition to the zoning amendment or moratorium text: (please provide) and  Check all that apply.**

- The public purpose or rationale for considering the amendment
- The section in the local zoning law the amendment addresses
- The zoning map or official map the amendment may be based on

**PART 4 b) NEEDED INFORMATION FOR VARIANCES, SITE PLAN REVIEWS OR SPECIAL PERMITS:**

**A site plan showing (ALL MUST BE PROVIDED):**

- Scale (suggest 1 inch = 20 feet if site is less than 1 acre, or smaller scale for larger sites)
- North Arrow     Location map
- Physical characteristics of the site - existing and proposed
- Layout plan showing buildings, parking, parking spaces, driveways, and pedestrian areas
- Plans for either connecting to municipal water and sewer or septic and well locations
- Surface and subsurface drainage plan, (incorporated within layout plan or on separate sheet)
- Locations, dimensions, and detail of lighting, landscaping, and signs
- Environmental features of the site (eg. creeks, streams, brush, wooded areas, wetlands)

*- The above site plan items are typically required by local zoning laws -*

**PART 5) REFERRAL CHECKLIST CERTIFICATION:**

**ALL actions require the following:**

- Completed Jefferson County Planning Board Referral Notice (All parts of this form)
- SEQR - completed Environmental Assessment Form or Environmental Impact Statement
- Agricultural Data Statement - when applicable
- Full statement as required by GML 239m and the local zoning law\ordinance - see pg. 4

**Municipal Official Certification:**

- A copy of all information\* required by the zoning law of referring municipality is included.
- OR
- The following submission requirements from the local zoning law have been waived by official action of the referring board: \_\_\_\_\_

As attested by:  (signature of appropriate municipal official)

**\* Incomplete Information\plans may result in the delay of CPB review.**

**The County Planning Board meets the last Tuesday of every month.**

**Referral deadlines are 12 days before each meeting.**

**Send Referral to:**

**Jefferson County Planning and**

**Community Development**

**239m Referral**

**175 Arsenal Street**

**Watertown NY 13601**

**If you have any questions about the referral process or whether a project should be referred, please call the County Planning Office at 785-3144.**

**What is a “Full Statement”?**

**According to NYS General Municipal Law Section 239-m, a “full statement” of the proposed action includes all materials required by and submitted to the local board as an application. This includes the completed environmental assessment form as well as all other materials required to make a determination of significance pursuant to the State Environmental Quality Review Act. When the proposed action is the adoption or amendment of a zoning ordinance or law, the “full statement of such proposed action” also includes the complete text of the proposed ordinance or local law as well as all existing provisions to be affected thereby, if any.**

**The local board has an obligation to the residents of their community to conduct a thorough and informed review of projects before them. In order to do this, the local board should, at a minimum, only accept project plans that are drawn to scale and show the complete site with all existing and proposed structures. The CPB can not assess potential county-wide or inter-municipal impacts of a referral unless the plans are an accurate depiction of the project site.**

# TOWN OF CLAYTON

## **Zoning Officer**

Richard A. Ingerson  
Office Hours  
Mon. Through Fri.  
7:00 AM-12:00 PM & 1:00 -3:30 PM

## **Zoning Department**

405 Riverside Drive  
Clayton NY 13624  
(315) 686-3512 Ext. 29  
Fax (315) 686-2651

## **Zoning Board of Appeals**

Stephen Mack  
(Chairman)  
Dale Maclaughlin  
Clyde H. Garnsey  
Nick Reddick  
Dale Maclaughlin  
PJ Schleher  
Mike McMahon

## **NOTICE OF PUBLIC HEARING**

Please take notice that the following public hearing will be held by the Joint Village/Town of Clayton Zoning Board of Appeals on **March 16, 2026 at 7:00 PM** or soon after in the Town's Recreational Park, 600 East Line Road, as required by the Zoning Ordinance to hear all persons concerned with the Boards consideration in granting an area variance to **River Roc Storage LLC/Mark Morgia** on their property located 15934 County Route 3, Clayton in the Agricultural and Rural Residential district, Tax Map # 20.15-1-21.2. The petitioner is requesting to construct a storage building closer to the property line than is allowed by the zoning ordinance. Such addition will require an area variance from Article V, Schedule B of the zoning ordinance.

All parties in interest and citizens will be given the opportunity to be heard in respect to such application. Persons may appear in person or by agent. Written comments must be received prior to the hearing. The above application is open for inspection in the Town Clerks Office.

Richard Ingerson  
Zoning Officer

**ZONING BOARD OF APPEALS  
TOWN OF CLAYTON  
APPLICATION FOR AN AREA VARIANCE**

Application #: T-VAR-003-26  
Date of Application: 2/11/26  
Application Fee Received: \$150.00 cash  
Date of Public hearing: 3/16/26 7:00pm

Zoning District: AR  
Tax Map #: 20.15 Block #: 1 Lot: 21.2

**TO THE ZONING BOARD OF APPEALS**

**A: Statement of Ownership and interest:**

The applicant (s) River Rox Storage LLC / Mark Morgio  
Is/are the owner (s) of property situated at the following address:  
159.34 County Route 3 Clayton NY 13624

The above described property was acquired by the applicant (s) on \_\_\_\_\_  
Date

**B: The applicant requests the following AREA variance to:**

install 160'x60' heated storage barn  
The area or dimensional variance requested is as follows:  
10' off back line & 15' at side line.  
40' North rear yard & 2003.25 lot coverage variance

**ATTACH A SITE PLAN DRAWN TO SCALE**

**C: Reasons for request:**

(1) The requested variance will not create an undesirable change in the character or the neighborhood or detriment to nearby properties in that:

no

(2) The benefits sought by the applicant cannot be achieved by any other feasible method because:

power line running through property

(3) The requested variance is not substantial in that: Bordering property on back side is forever wild & cant be built on

(4) The proposed variance will not have an adverse effect or impact on the physical and environmental conditions of the neighborhood or district because: same as other buildings on property

D: State Inspection:

Applicant agrees that members of the Joint Town/Village Zoning Board of Appeals may inspect the property site of the application by appointment or at other times as agreed to by the applicant and the Board. Please list preferred days/times:

any time

Dated: 2/10/26 Phone #: 315-771-1329 (please print)

Applicants Name: Mark Morza  
Mailing Address: 13322 Houze Road Clayton NY 12624

Applicants Signature: 



**Town of Clayton  
Zoning Department  
405 Riverside Drive  
Clayton, NY 13624**

Telephone: (315) 686-3512 X 28 Fax (315) 686-2651

## APPLICATION FOR ZONING PERMIT

PERMIT#: T-006-26	Tax Map #: 20.15-1-21.2	Property Address: 15934 Co Rte 3 Clayton, New York 13624
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APPLICANT NAME: River Roc Storage LLC TELEPHONE NUMBER:

STATUS: Denied

LOCATED ON: North

SIZE OF LOT: 3.21 acres

OTHER BUILDINGS ON SAME LOT: 3-storage buildings

IS PROPOSED TO ERECT: Erect a 60' x 160' storage building

BUILDING TO BE USED AS: Storage PROPOSED SIZE OF BUILDING: 60' x 160'

TOTAL FLOOR SPACE EXCLUSIVE OF GARAGES, PORCHES & ATTICS: 9600 sqft

SQ.FT. FURTHER DESCRIPTION OF PROPOSED ACTIVITY:

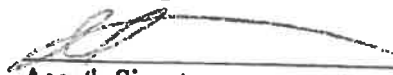

PROPOSED COST: \$.00

ESTIMATED DATE CONSTRUCTION TO BEGIN: Feb

IS PROPERTY LOCATED WITHIN FLOOD HAZARD AREA? No

IN CONSIDERATION OF THE GRANTING OF THIS PERMIT I AGREE TO ABIDE BY ALL BUILDING, ZONING & HEALTH ORDINANCES AND OTHER RULES AND REGULATIONS OF THE TOWN, AND NOT TO MAKE ANY CHANGES WITHOUT NOTIFYING THE TOWN CLERK. I ALSO DO HEREBY AFFIRM THAT THE ABOVE INFORMATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

COPY

_____ Owners's Signature	_____ Owner's Address	_____ Date
 Agent's Signature	_____ Agent's Address	 Date

Permit Issued: 02/11/2026

Fee Paid: \$.00

 ZEO Signature	 Date
--	---



Town of Clayton  
Zoning Department  
405 Riverside Drive  
Clayton, NY 13624

Telephone: (315) 686-3512 X 28 Fax (315) 686-2651

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Owners's Signature

Owner's Address

Date

Agent's Signature

Agent's Address

Date

Permit Issued: 02/11/2026

Fee Paid: \$.00

ZEO Signature

Date

Y  
R  
O  
C



Power line

Clayton

20.15-1-21.2

20.15-1-21.1

959072.29, 1543461.58

60'

15'

160'

15'

15'

GREAT LOT 4

SITE

94

2

PENET

21.2  
3.21A

19  
1.49A

18

1.9  
4.72A

1.3  
3.70A

1.3  
3.7A(C)

COUNTY ROUTE 3

(100' WIDE)

7  
1.0A(C)  
1.35A

6  
1.2A(C)  
1.49A

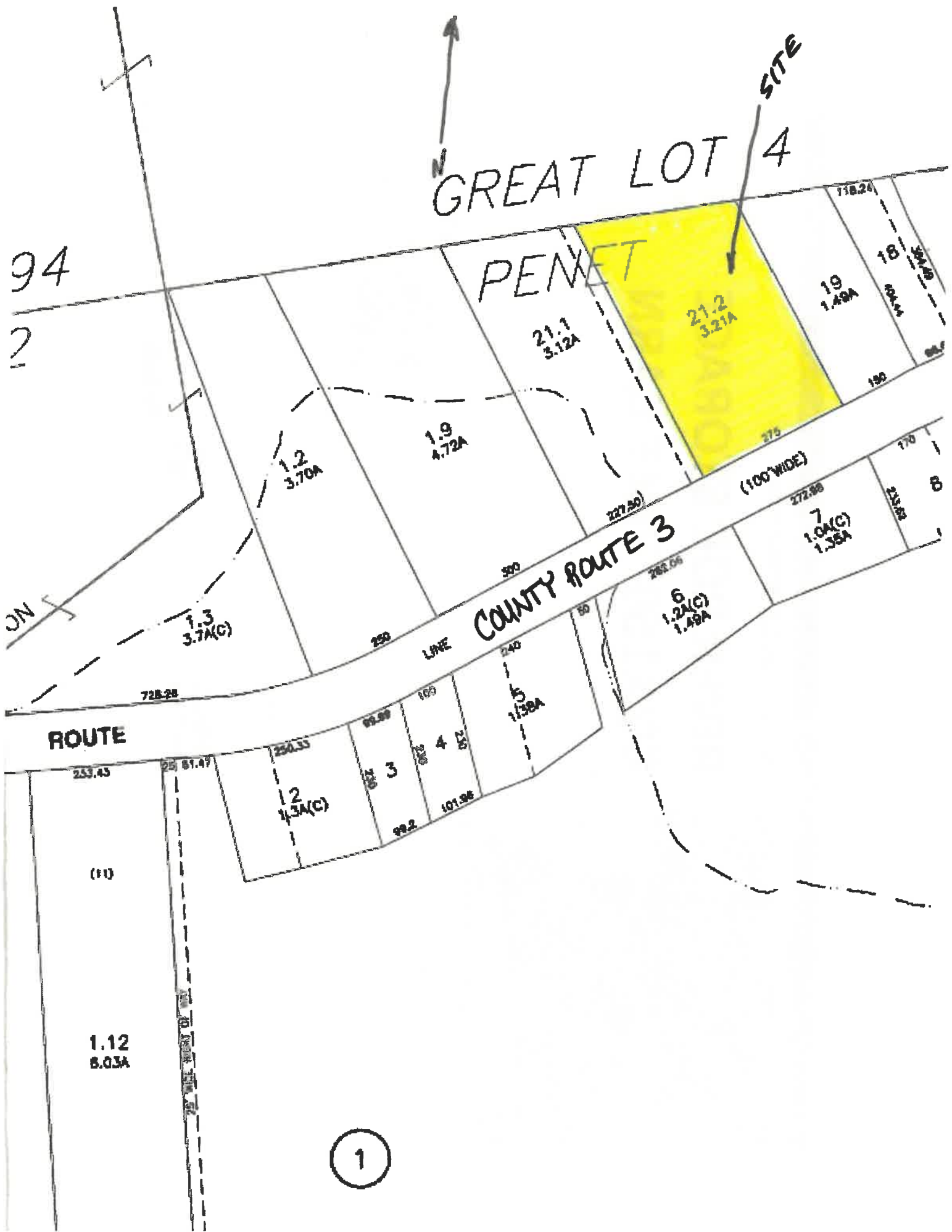
5  
1.58A

4  
1.1A

1.2  
1.3A(C)

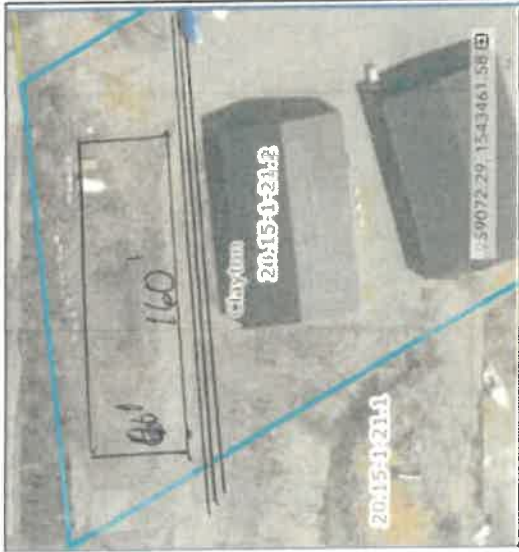
1.12  
8.03A

1



ISSUED FOR CONSTRUCTION

# RIVER ROC STORAGE 60'X160' POLE BARN



SITE LOCATION MAP  
NOT TO SCALE

DRAWING INDEX			
NO.	NAME	REV.	REV. DATE
1-001	COVER SHEET		
2-001	GENERAL NOTES	D	3/17/2024
3-001	PERFORMANCE CRITERIA	D	3/17/2024
4-001	WEST FOUNDATION PLAN	D	3/17/2024
5-001	EAST FOUNDATION PLAN	D	3/17/2024
6-001	WEST ROOF FRAMING PLAN	D	3/17/2024
7-001	EAST ROOF FRAMING PLAN	D	3/17/2024
8-001	SECTION THROUGH ROOF	D	3/17/2024
9-001	ROOFING & SINGS TYPICAL DETAILS	D	3/17/2024

MARCH 2024

BENJAMIN CARMON P.E.  
5276 SWAMP SCHOOL RD.  
CAZENOVIA, NY 13035  
PHONE: (515) 569-5341



IT IS A VIOLATION OF LAW FOR ANY  
PERSON TO ALTER OR REPRODUCE  
THIS SEAL IN ANY MANNER  
PROHIBITED BY THE SOCIETY

34003A-0001





ISSUED FOR CONSTRUCTION  
DRAWING RELEASE  
DATE: 3/7/24  
NO. 0

WEST FOUNDATION PLAN

BRC ENGINEERING  
BEKMAN CARLON P.E.  
5276 SWAMP SCHOOL RD.  
CLAYTON, NY 13050-4341  
(518) 588-6341

RIVER ROC STORAGE  
38662/668 NYS ROUTE 12E  
CLAYTON, NY

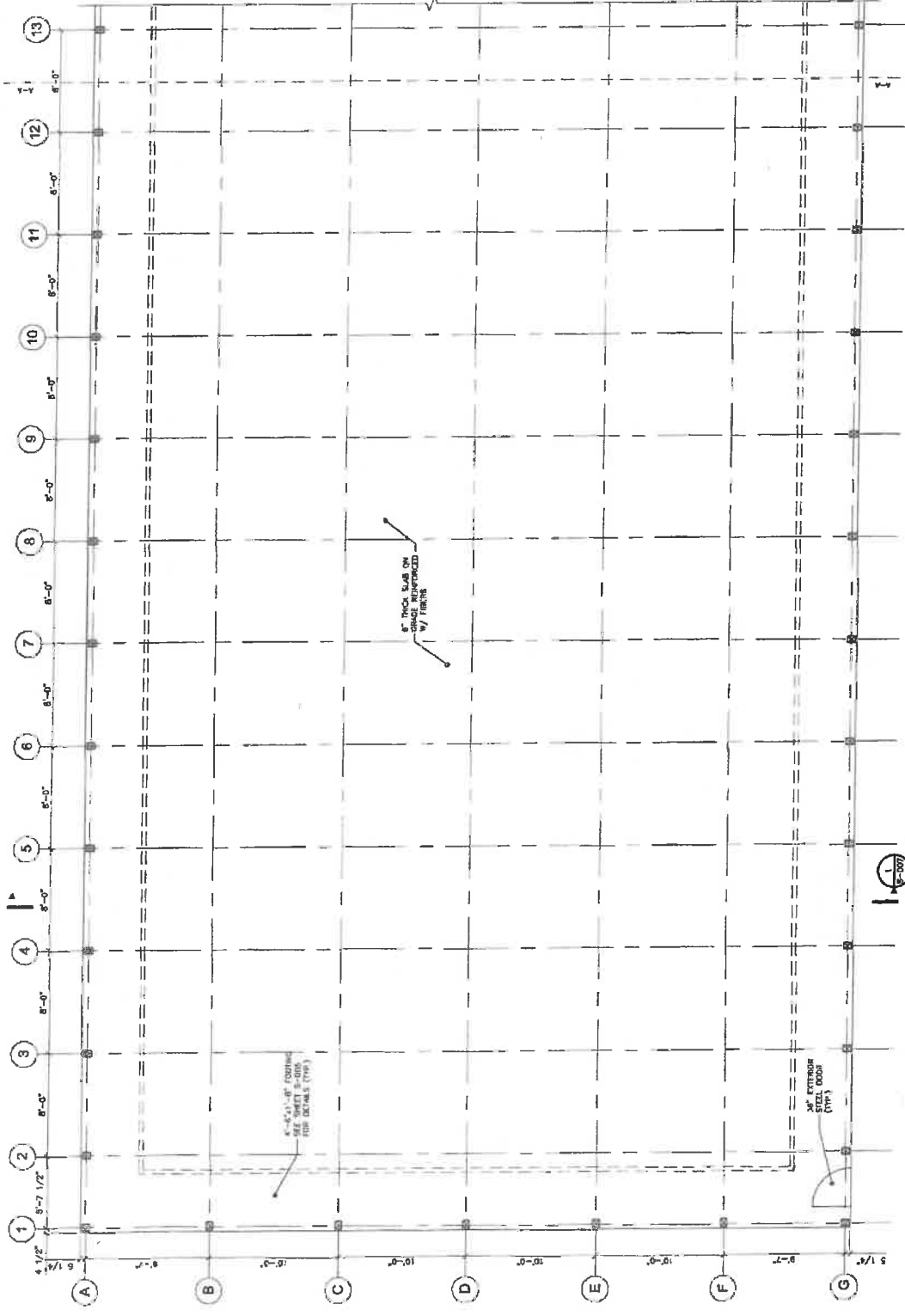
PROJECT #  
24-003A

DATE  
MARCH 2024

SHEET #  
S-003



3/7/24



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

- PLAN NOTES:
1. FINISHED FLOOR EL. = 100'-0" UICM.
  2. CONCRETE FOR INTERIOR SLAB ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.
  3. POSTS SHALL BE 4" PLY SUB MINIMUM. POST SHALL BE PRESSURE TREATED BELOW GRADE.

THIS DRAWING AND SPECIFICATIONS OF THE SAME, INDICATED BY THE TITLE BLOCK, ARE HEREBY ACCEPTED AND APPROVED FOR THE PROJECT AND THE WORK TO BE PERFORMED BY THE CONTRACTOR, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACCURACY OF THE DATA AND TO CORRECT THE SAME, SOLELY AT HIS OWN RISK.

IF A VARIATION OF THE PLAN PERIODS, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACCURACY OF THE DATA AND TO CORRECT THE SAME, SOLELY AT HIS OWN RISK.

NO.	DATE	ISSUED FOR CONSTRUCTION
1	3/7/24	DRAWING RELEASE

FOUNDATION PLAN

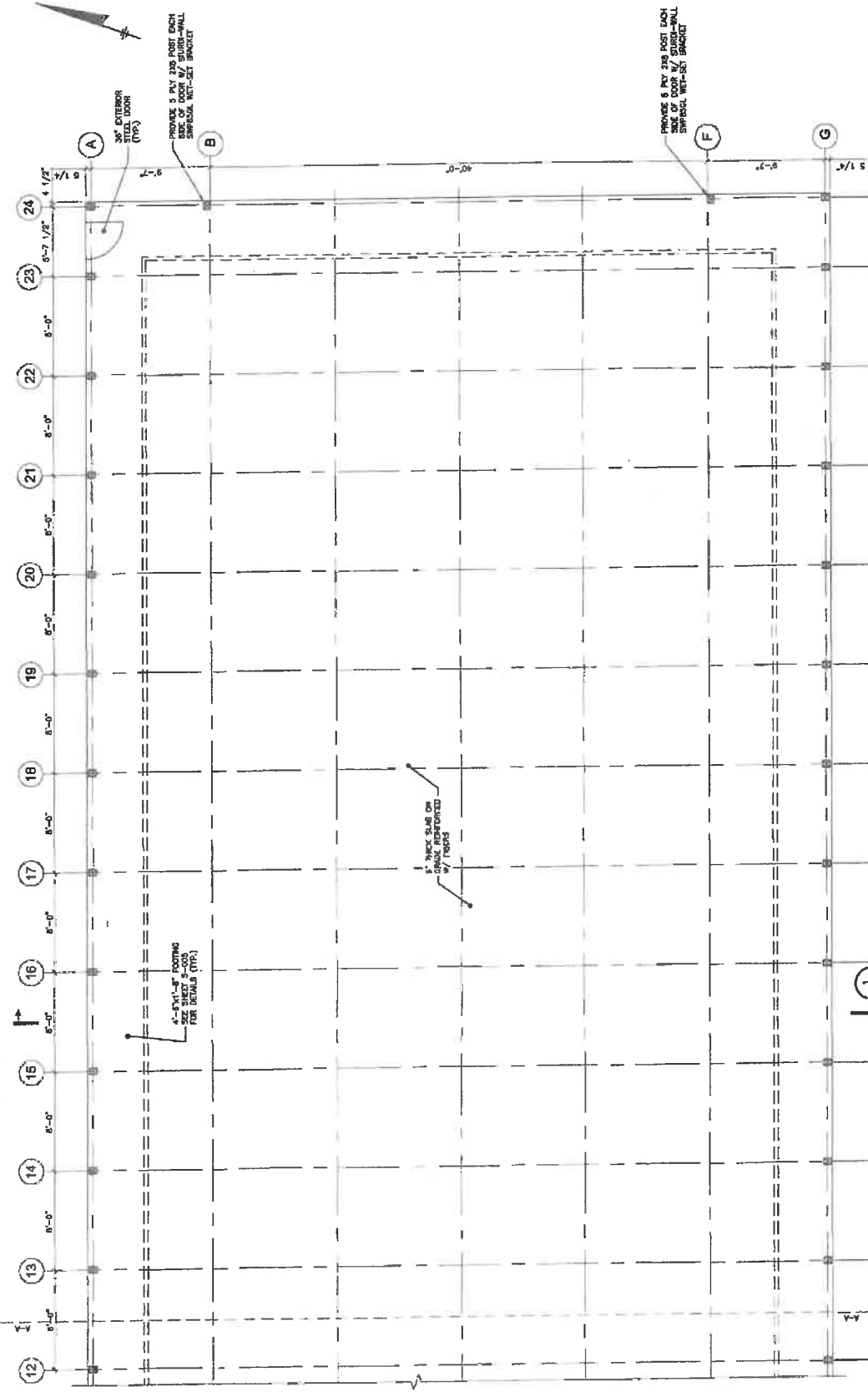
BRC ENGINEERING  
 BENJAMIN CARLSON P.E.  
 5275 SWING SCHOOL RD.  
 CLAYTON, NY  
 (518) 588-5341

RIVER ROC STORAGE  
 38662/668 NYS ROUTE 12E  
 CLAYTON, NY

PROJECT #  
24-003A

DATE  
MARCH 2024

SHEET #  
S-004



FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"

- PLAN NOTES:
1. FINISHED FLOOR EL. = 100'-0" U.S.M. GRADE SHALL HAVE A 2% SLOPE TO THE RIGHT AND 1% TO THE LEFT.
  2. COMPRESSION BRIDGES SHALL BE 4" X 8" POSTS SHALL BE 4" PLY 2X8 RIBBLED. POST SHALL BE PRESSURE TREATED BELOW GRADE.
  3. TIE RODS SHALL BE 1/2" DIA. RIBBLED. POST SHALL BE PRESSURE TREATED BELOW GRADE.



THIS DRAWING WAS PREPARED AT THE SCALE INDICATED BY THE TITLE BLOCK. DIMENSIONS SHOWN ON THIS DRAWING SHALL BE INTERPRETED AS DIMENSIONS UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ON THIS DRAWING SHALL BE INTERPRETED AS DIMENSIONS UNLESS OTHERWISE NOTED.

IF A RELATION OF USE FOR ANY PERSON, UNLESS SPECIFICALLY THE DIRECTOR OF A LICENSED ENGINEER TO SIGN THIS DOCUMENT.



NO.	0
DATE	3/7/24
ISSUED FOR CONSTRUCTION	
DRAWING RELEASE	

ROOF FRAMING PLAN

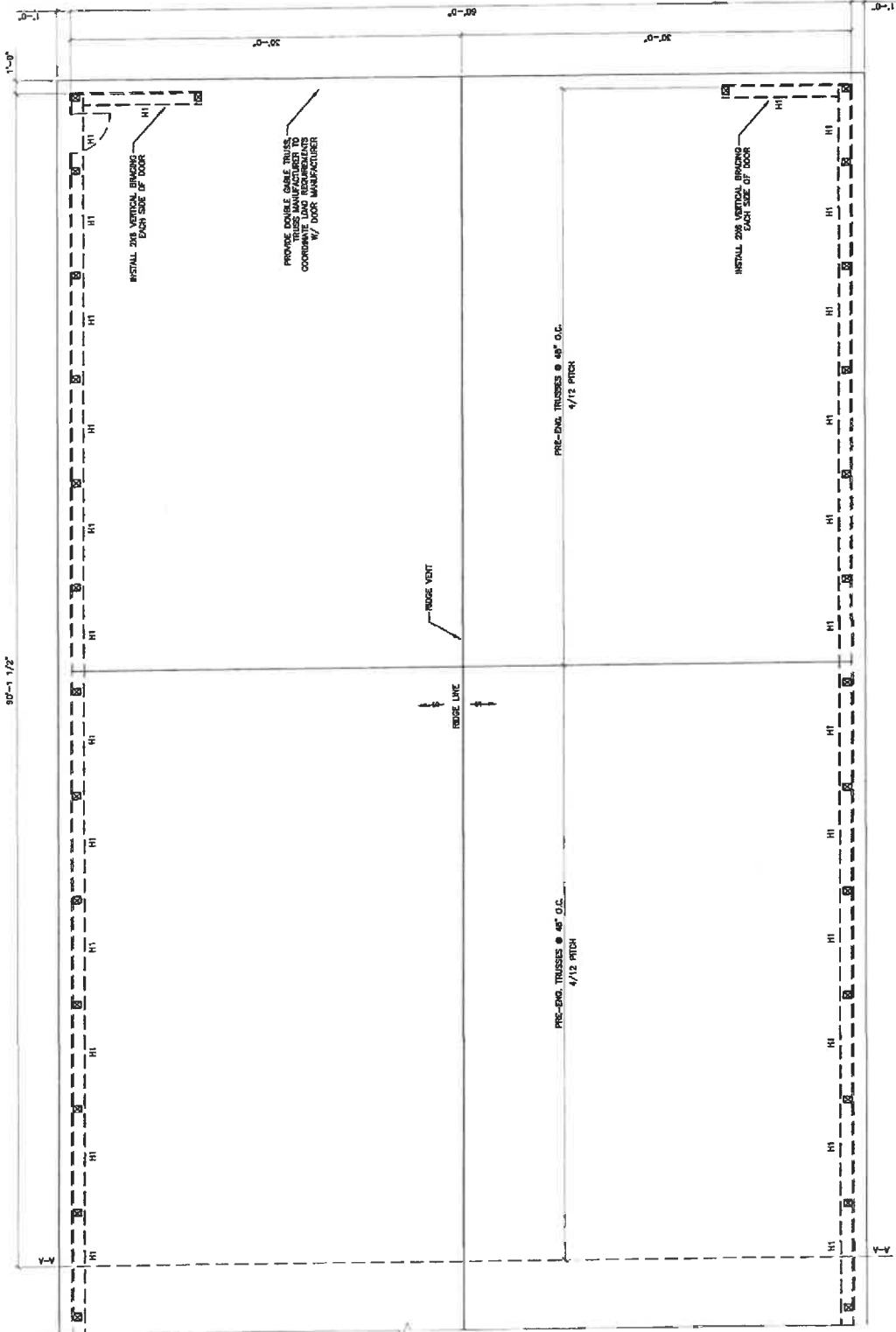
BRC ENGINEERING  
 3276 SWAMP SCHOOL RD  
 BELLEVILLE CHURCH P.C.  
 OAKRIDGE, NY  
 (516) 999-5341

RIVER ROC STORAGE  
 38662/668 NYS ROUTE 12E  
 CLAYTON, NY

PROJECT  
 24-003A

DATE  
 MARCH 2024

SHEET  
 900-S

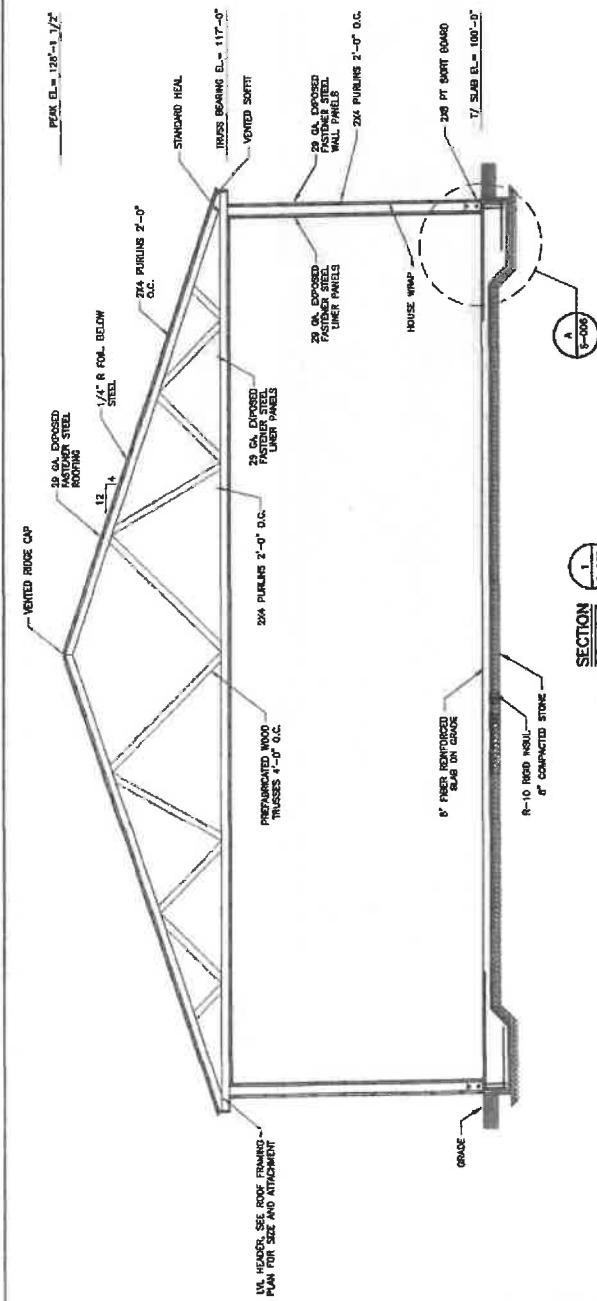


**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

- PLAN NOTES:
1. TRUSS SPACING IS 48" O.C. UNLESS OTHERWISE NOTED.
  2. DOOR SIZES ARE AS INDICATED ON THE FOUNDATION PLAN.
  3. TRUSS BRACING REQUIREMENTS SHALL BE AS PER THE TRUSS MANUFACTURER'S REQUIREMENTS, AS PER EACH CASE OF FACT MANUFACTURER'S REQUIREMENTS.
  4. TRUSS BRACING SHALL BE AS DESIGNED BY PRE-FABRICATED TRUSS MANUFACTURER.

THIS DRAWING WAS PROVIDED AS THE SCALE INDICATED IN THE TITLE BLOCK. ANY DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE CONSIDERED AS APPROXIMATE UNLESS OTHERWISE NOTED. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND TO DETERMINE THE ACTUAL SCALE OF THIS DRAWING.

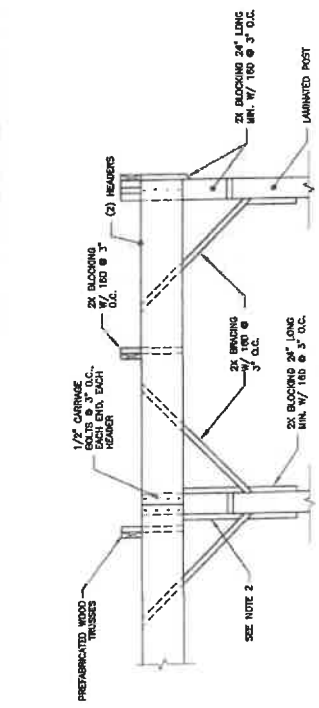
IT IS A VIOLATION OF THE STATE ENGINEERING LAW TO REPRODUCE OR TRANSMIT THIS DRAWING IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OF RECORD.



**SECTION 1-1**  
SCALE: 1/8" = 1'-0"  
5-000

**SECTION NOTES:**

1. CONCRETE FOR INTERIOR SLAB ON GRADE SHALL HAVE COMPRESSIVE STRENGTH OF 4000 PSI.
2. TRUSS OVERHANDS SHALL BE 1'-0".
3. PROVIDE SPRAY APPLIED INSULATION IN WALLS W/ R VALUE OF R-25 MIN.
4. PROVIDE BLOWN FIBERGLASS INSULATION IN CEILING W/ R VALUE OF R-45.



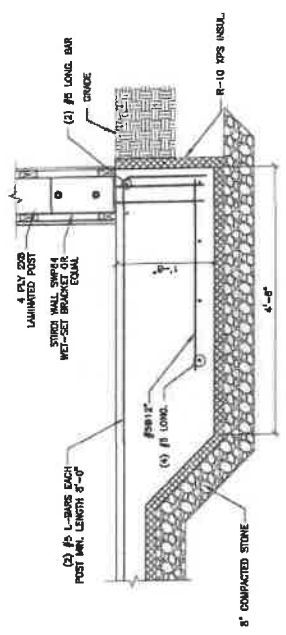
**TYPICAL HEADER DETAIL**  
SCALE: 3/4" = 1'-0"

**DETAIL NOTES:**

1. POSTS SHALL BE NOTCHED TO ACCEPT HEADERS FOR BUILDING WIDTHS 50 FEET OR GREATER.
2. PROVIDE ADDITIONAL BLOOMING EACH FACE OF POST EQUAL IN SIZE TO POST.



THE HEADERS ARE NOTCHED TO THE POINTS SHOWN IN THE DETAIL. THE NOTCHES SHALL BE 1/4" DEEP AND 1/4" WIDE. THE HEADERS SHALL BE NOTCHED TO THE POINTS SHOWN IN THE DETAIL. THE HEADERS SHALL BE NOTCHED TO THE POINTS SHOWN IN THE DETAIL.



**DETAIL A**  
SCALE: 1" = 1'-0"  
5-000

**DETAIL NOTES:**

1. CONCRETE FOR INTERIOR SLAB ON GRADE SHALL HAVE COMPRESSIVE STRENGTH OF 4000 PSI.
2. PROVIDE STRIP WALL BRACKET EACH POST.

NO.	DATE	DESCRIPTION
0	12/14/22	ISSUED FOR CONSTRUCTION DRAWING RELEASE

**SECTIONS & DETAILS**

**BRC ENGINEERING**  
BRYAN RAYMOND CORP.  
6278 CANTON RD.  
CANTON, NY 13615  
(315) 685-6341

**RIVER ROC STORAGE**  
3662/668 NYS ROUTE 12E  
CLAYTON, NY

**PROJECT #**  
34-003

**DATE**  
MARCH 2024

**SHEET**  
400-S



3/7/24

NO.	DATE	DESCRIPTION
0	3/7/24	ISSUED FOR CONSTRUCTION
		DRAWING RELEASE

EXTERIOR ELEVATIONS

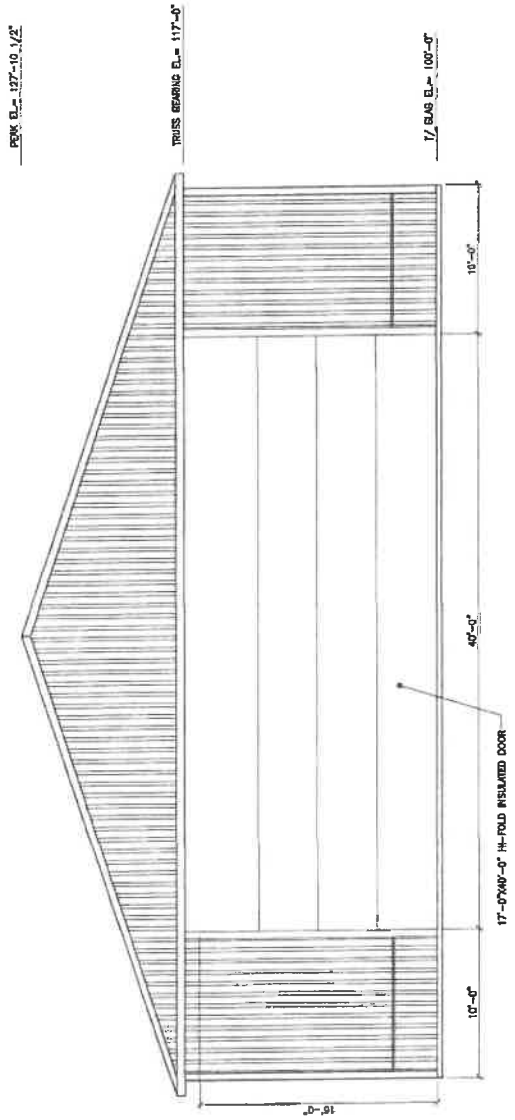
BRC ENGINEERING  
 6276 SWAMP SCHOOL RD  
 DELAWARE PARKWAY P.E.  
 (315) 588-5341

RIVER ROC STORAGE  
 38662/668 NYS ROUTE 12E  
 CLAYTON, NY

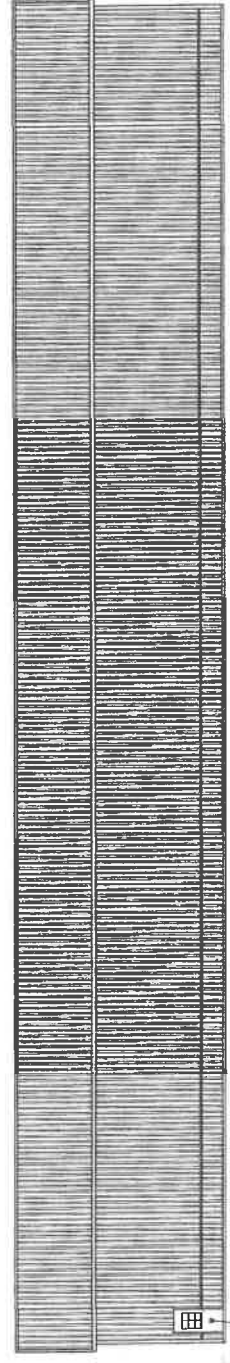
PROJECT #  
 24-030A

DATE  
 MARCH 2024

SHEET #  
 800-S



WEST ELEVATION  
 SCALE: 1/4" = 1'-0"

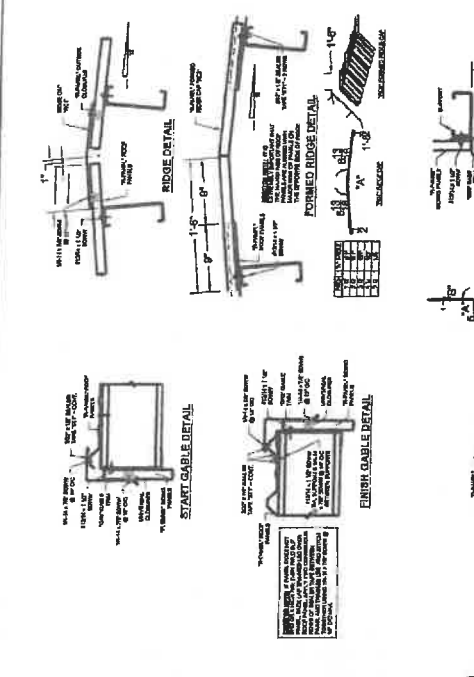
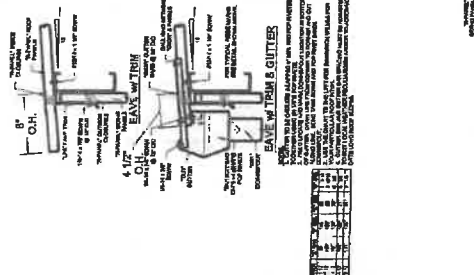
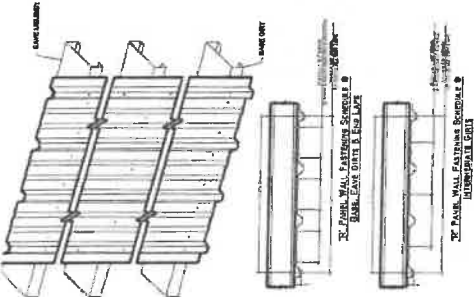
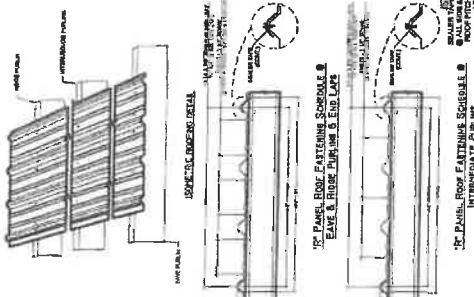


NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



THE DIMENSIONS AND FINISHES OF THE WORK SHOWN ON THIS DRAWING ARE TO BE INTERPRETED AS INDICATED BY THE DIMENSIONS AND FINISHES SHOWN ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

IT IS A CONDITION OF THIS CONTRACT THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



**GENERAL NOTES:**

- (I) PANELS TO BE MANUFACTURED FROM GALVANIZED STEEL, GALVALUME, OR ALUMINUM ALLOY 3003-H14.
- (II) PANELS TO BE MANUFACTURED WITH A SLOTTED FASTENER SYSTEM.
- (III) PANELS TO BE SUPPLIED WITH SPECIAL PACKAGING AND BRIFPANS.
- (IV) PANELS TO BE SUPPLIED WITH VARIOUS FLASHINGS, PIPE JACKS, FASTENERS, GUTTERS, AND CLOSURES TO COMPLETE A PROJECT.
- (V) PANELS TO BE SUPPLIED WITH VARIOUS FLASHINGS, PIPE JACKS, FASTENERS, GUTTERS, AND CLOSURES TO COMPLETE A PROJECT.
- (VI) TO INSURE ALL PANELS, OR SUB-FRAMING MEMBERS ARE PROPERLY INSTALLED AND ALIGNED IN ACCORDANCE WITH A.I.C.C. SPECIFICATIONS.
- (VII) DUE TO UNIFORM TOLERANCES OF BASE METAL, ANY FLAT SURFACE PANELS COULD HAVE A SLIGHT CURVE. THIS IS NOT A DEFECT FOR REJECTION OF THE PRODUCT.
- (VIII) THE INSTALLER IS RESPONSIBLE FOR THE CORRECT PANEL LENGTHS & QUANTITIES, AND ALL ACCESSORY PUSH, TYPE & QUANTITIES.

**UNLOADING & STORAGE NOTES:**

- (I) WHEN UNLOADING PANELS, BRIDGE BAR & UNLOADER OF THE PROPER SIZE, LENGTH, AND SPACING ARE TO BE USED BY SKILLED PERSONNEL APPLYING PROPER PROCEDURES TO PREVENT DAMAGE TO PANELS AND POSSIBLE BODILY INJURY.
- (II) UNLOADING OF PANELS MUST BE DONE CAREFULLY. NOTE ANY DAMAGED OR MISSING PARTS ON THE BILL OF LADING AND CONTACT FACTORY IMMEDIATELY.
- (III) INSPECT PANELS & TRIM FOR MOISTURE THAT MAY HAVE FORMED DURING SHIPMENT. IF RESTRICTIONS PRESENT, THEN MATERIALS MUST BE UNPACKAGED, WIPED DRY, AND THEN REPACKAGED.
- (IV) IF MOISTURE STORAGE IS NOT POSSIBLE, THEN ELIMINATE ONE END OF BUNDLE AND COVER LOOSELY TO ALLOW AIR TO CIRCULATE THROUGH MATERIALS. NEVER USE PLASTIC TO COVER MATERIALS.
- (V) EXPOSED ENDS SHOULD BE PROTECTED FROM MOISTURE OR PROMOTE TRUST ON UNPAINTED PLASTIC FILM TO ADHERE TO THE METAL PERMANENTLY AND DISCOLOR FINISH.

**INSTALLATION NOTES:**

- (I) PANELS ARE RECOMMENDED FOR ROOF SLOPES 1/2 AND GREATER.
- (II) USE 2" X 4" BRACKETS TO BE INSTALLED CONTINUOUSLY @ ALL SLOPE LAPS OF ROOF PANELS.
- (III) PANELS ARE TO BE INSTALLED CONTINUOUSLY @ ALL SLOPE LAPS OF ROOF SLOPES GREATER THAN 1/2. SEALER TAPE TO BE USED AT ALL ROOF CORNERS & FLASHINGS OF FITCH.

**III. REJECTION NOTES (CONT'D.):**

- (I) SIDE LAP FASTENERS TO BE SPACED 18" O.C. MAX.
- (II) CLOSED CELL POLYURETHANE CLOSURES FACTORY FORMED TO THE PANEL PROFILE TO BE FIELD INSTALLED WHERE NECESSARY TO WEATHERPROOF THE PANEL SYSTEM.
- (III) PANELS TO BE SUPPLIED WITH SLOTTED FASTENERS TO BE INSTALLED AT THE EAVES, RIDGE, BASE & VALLEYS. ROOF PANELS AT RIDGE TO ALIGN WITH MAJOR RISERS ON OPPOSITE SIDE OF THE RIDGE.
- (IV) ANY CUTTING OR REVEALING OF PANELS @ ENDS OF PANEL RUNS, VALLEYS, OR PENETRATIONS TO BE DONE BY THE ERECTOR IN THE FIELD.
- (V) REMOVE ALL STIRRABLE PLASTIC AS PANELS ARE BEING ERECTED.
- (VI) IMPACT ENTIRE ROOF AND SIDING AREA. REMOVE ANY PIECES OF STIRRABLE PLASTIC FILM WHERE FLASHING IS PROPERLY INSTALLED AND CALLED WHERE SHOWN ON DETAILS.
- (VII) ANY METAL SHAVINGS FROM FIELD CUTTING OR DRILLING OF PANELS MUST BE CLEANED OFF ROOF EACH DAY TO PREVENT FLAT AND/OR DISCOLORATION OF PANELS.
- (VIII) TOUCH-UP ANY SCRATCHES, NICKS, OR PASTER HEADS WITH TOUCH-UP PAINT. MAKE SCRATCHES DO NOT PAINT OVER ANY PREPARED FLASHING.

**IV. CLEAN-UP NOTES:**

- (I) IMPACT ENTIRE ROOF AND SIDING AREA. REMOVE ANY PIECES OF STIRRABLE PLASTIC FILM WHERE FLASHING IS PROPERLY INSTALLED AND CALLED WHERE SHOWN ON DETAILS.
- (II) ANY METAL SHAVINGS FROM FIELD CUTTING OR DRILLING OF PANELS MUST BE CLEANED OFF ROOF EACH DAY TO PREVENT FLAT AND/OR DISCOLORATION OF PANELS.
- (III) TOUCH-UP ANY SCRATCHES, NICKS, OR PASTER HEADS WITH TOUCH-UP PAINT. MAKE SCRATCHES DO NOT PAINT OVER ANY PREPARED FLASHING.

**V. CAUTIONS:**

- (I) CARE MUST BE TAKEN TO NOT OVER TORQUE FASTENERS.
- (II) DO NOT UNDER ANY CIRCUMSTANCES ALLOW THE SILEX, MAJOR RISER, OR LOCATIONS WHICH COULD RESULT IN BODILY INJURY AND IT COULD AFFECT PANEL ALIGNMENT.
- (III) CARE MUST BE TAKEN NOT TO STEP ON PANEL BETWEEN FIRST FURLIN AND EAVE WHEN FASTENING.
- (IV) CARE MUST BE TAKEN IN PROTECTING PANELS FROM OTHER TRADES, DISSIMILAR METALS, AND POSSIBLE RUN OFF OF RAIN EQUIPMENT.
- (V) THESE STANDARD DETAILS ARE PROVIDED FOR REFERENCE ONLY. OTHER DETAILS MAY BE BASED ON ACTUAL JOB SITE CONDITIONS, BUILDING CODES AND REGULATORY BODIES. THE PURCHASER IS RESPONSIBLE FOR THE SELECTION, USE AND IMPLEMENTATION OF THE PROPER DETAILS.
- (VI) ALWAYS WATER-TIGHTNESS ON ANY GIVEN PROJECT IS THE FUNCTION OF THE INSTALLER. TO ACHIEVE WATER-TIGHTNESS TO MEET PARTICULAR BUILDING REQUIREMENTS.



Tax# 20.15-1-21.2 Name: River Roc Storage LLC  
**APPLICANT** Address: 13322 House Road  
Clayton NY 13624

**NEARBY LANDOWNERS**

Tax# 20.15-1-19 Name: Gregory T. Henry  
Address: 15975 County Route 3  
Clayton NY 13624

Tax# 20.15-1-8 Name: Marshall Green  
Address: 15978 County Route 3  
Clayton NY 13624

Tax# 20.15-1-7 Name: Mary T Dial Irrevocable Trust  
Address: 1117 Hartley Hall Ct  
Summerville SC 29485

Tax# 20.15-1-6 Name: Curtis Walsh  
Address: 15882 County Route 3  
Clayton N.Y. 13624

Tax# 20.15-1-11.9 Name: Lora A Stopper  
Address: 692 Riverside Drive  
Clayton NY 13624

Tax# 20.11-2-2 Name: Carrier Ridge LLC  
Address: 15363 Carrier Lane  
Clayton NY 13624

Tax# \_\_\_\_\_ Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Tax# \_\_\_\_\_ Name: \_\_\_\_\_  
Address: \_\_\_\_\_

# TOWN OF CLAYTON

**Zoning Officer**

Richard A. Ingerson

Office Hours

Mon. Through Fri.

7:00 AM-12:00 PM & 1:00 -3:30 PM

**Zoning Department**

405 Riverside Drive

Clayton NY 13624

(315) 686-3512 Ext. 29

Fax (315) 686-2651

**Zoning Board of Appeals**

Stephen Mack

(Chairman)

Dale Maclaughlin

Nick Reddick

Mike McMahon

Clyde H. Garnsey

Alt: Parker Schleher

## NOTICE OF PUBLIC HEARING

Please take notice that the following public hearing will be held by the Joint Village/Town of Clayton Zoning Board of Appeals on **March 16, 2026 at 7:00 PM** or soon after in the Town's Recreational Park, 600 East Line Road, as required by the Zoning Ordinance to hear all persons concerned with the Boards consideration in granting an area variance to **William H. Colwill** on their property located 17175 Blanchard Lane East, Clayton in the Marine Residential district, Tax Map # 12.20-2-21. The petitioner is requesting to locate a shed closer to a property line than allowed. Such action will require area variance from Article XII, Schedule D of the zoning ordinance.

All parties in interest and citizens will be given the opportunity to be heard in respect to such application. Persons may appear in person or by agent. Written comments must be received prior to the hearing. The above application is open for inspection in the Town Clerks Office.

Richard Ingerson

Zoning Officer

**ZONING BOARD OF APPEALS  
TOWN OF CLAYTON  
APPLICATION FOR AN AREA VARIANCE**

Application #: T-VAR-004-26  
Date of Application: 3/2/26  
Application Fee Received: 150.00 #3202  
Date of Public hearing: 3/16/26 7:00 PM

Zoning District: MR  
Tax Map #: 12.20-2-21 Block #: \_\_\_\_\_ Lot: \_\_\_\_\_

**TO THE ZONING BOARD OF APPEALS**

**A: Statement of Ownership and interest:**

The applicant (s) William H. Colwill and Karen B. Colwill  
is/are the owner (s) of property situated at the following address:  
17175 Blanchard Lane East  
Clayton, NY 13624

The above described property was acquired by the applicant (s) on JULY 29, 2022  
Date

**B: The applicant requests the following AREA variance to:**

Replace 2 old sheds with 1 new shed  
The area or dimensional variance requested is as follows:  
We request a variance to place the new shed about 15 to 16 feet  
from the access road, rather than the required 30 feet.  
NEEDS A 22' Rear South yard variance

**ATTACH A SITE PLAN DRAWN TO SCALE**

**C: Reasons for request:**

- (1) The requested variance will not create an undesirable change in the character or the neighborhood or detriment to nearby properties in that:  
Blanchard Lane East is a privately owned, dirt/gravel, single lane road. Four summer cottages and one permanent resident are accessed past our driveway. We will be razing the current dilapidated yellow shed, which is closer to the road, and removing a smaller brown shed.
- (2) The benefits sought by the applicant cannot be achieved by any other feasible method because:  
The new shed will be placed to improve a neighbor's water view, increase adjoining green space, and increase the distance from the road. If we proceeded to rebuild the existing yellow shed none of these benefits would be achieved.

(3) The requested variance is not substantial in that: We will eliminate two existing sheds and build one shed. This will reduce the amount of total shed area from two existing sheds at 208 square feet to 140 square feet. We will increase the distance from the road.

(4) The proposed variance will not have an adverse effect or impact on the physical and environmental conditions of the neighborhood or district because: Neighboring properties have buildings very close to the road. The new shed will be very attractive and will replace one dilapidated shed and one unattractive shed. The new shed will be located to improve neighbor's river view and to increase a broad open "green" which is a neighborhood enjoyment space.

D: State Inspection:

Applicant agrees that members of the Joint Town/Village Zoning Board of Appeals may inspect the property site of the application by appointment or at other times as agreed to by the applicant and the Board. Please list preferred days/times:

Our property can be inspected at any time.

Dated: February 23, 2026 Phone #: 717-870-5186

Applicants Name: William H. Colwill (please print)

Mailing Address: 267 Oyster Shell Cove  
Bethany Beach DE 19930

Applicants Signature: William H. Colwill



**Town of Clayton**  
**Zoning Department**  
 405 Riverside Drive  
 Clayton, NY 13624  
 Telephone: (315) 686-3512 X 28 Fax (315) 686-2651

**APPLICATION FOR ZONING PERMIT**

PERMIT#: T-008-26	Tax Map #: 12.20-2-21	Property Address: 17175 Blanchard Ln E Clayton, New York 13624
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APPLICANT NAME: Karen Colwill TELEPHONE NUMBER:

STATUS: Denied

LOCATED ON: North

SIZE OF LOT: TBD

COPY

OTHER BUILDINGS ON SAME LOT: House and 2 sheds

IS PROPOSED TO ERECT: Locate a 10' x 14' storage shed

BUILDING TO BE USED AS: Shed PROPOSED SIZE OF BUILDING: 10' x 14'

TOTAL FLOOR SPACE EXCLUSIVE OF GARAGES, PORCHES & ATTICS: 140 sqft

SQ.FT. FURTHER DESCRIPTION OF PROPOSED ACTIVITY:

PROPOSED COST: \$.00

ESTIMATED DATE CONSTRUCTION TO BEGIN: March

IS PROPERTY LOCATED WITHIN FLOOD HAZARD AREA? Yes

IN CONSIDERATION OF THE GRANTING OF THIS PERMIT I AGREE TO ABIDE BY ALL BUILDING, ZONING & HEALTH ORDINANCES AND OTHER RULES AND REGULATIONS OF THE TOWN, AND NOT TO MAKE ANY CHANGES WITHOUT NOTIFYING THE TOWN CLERK. I ALSO DO HEREBY AFFIRM THAT THE ABOVE INFORMATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

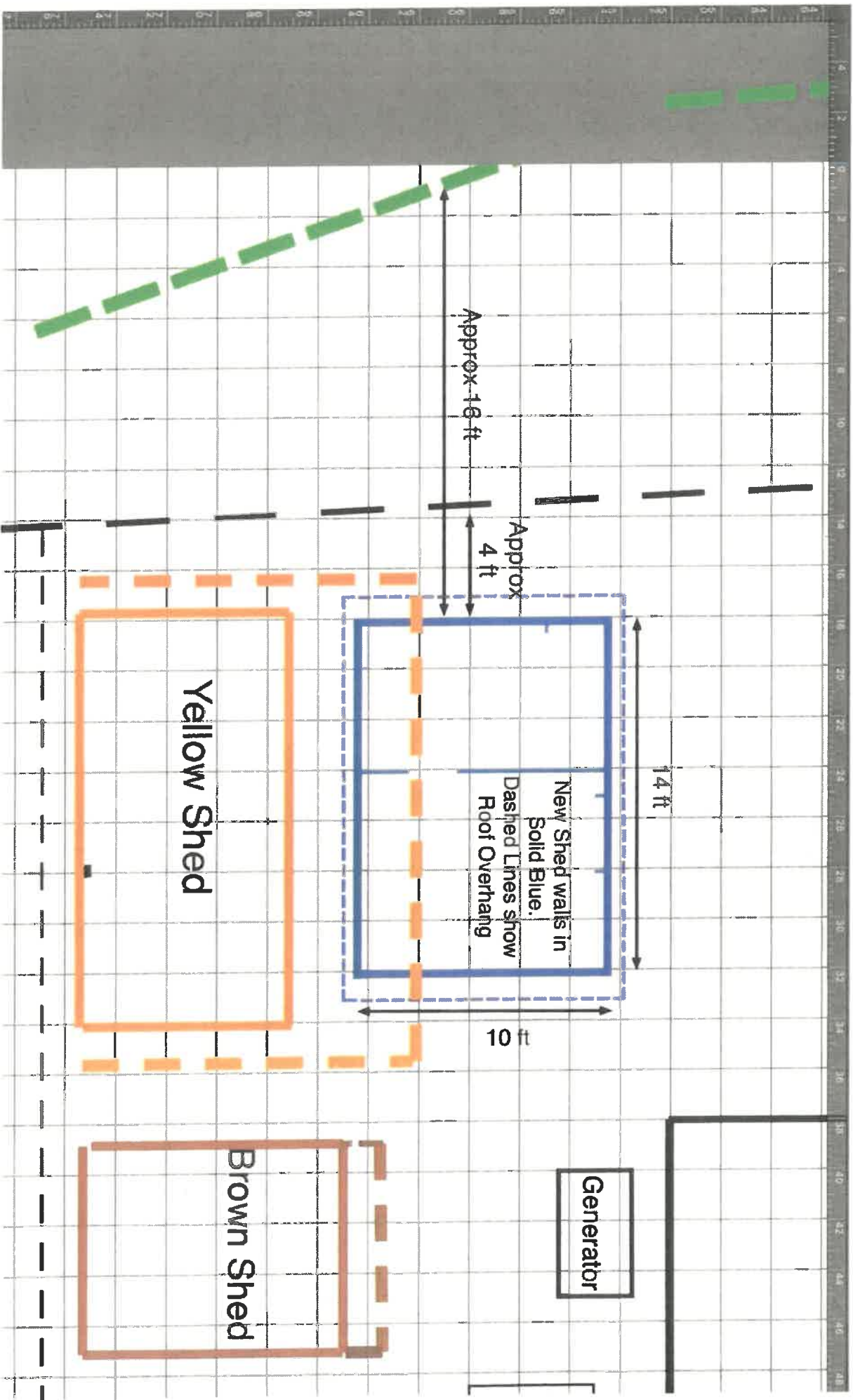
_____ Owners's Signature	_____ Owner's Address	_____ Date
_____ Agent's Signature	_____ Agent's Address	_____ Date

Permit Issued: 03/05/2026

Fee Paid: \$.00

_____ LEO Signature	_____ Date
------------------------	---------------





Permit Number

12.20-2-21

17175 Blenhard Lane East

CLAYTON NY 13624

Tax Map Number

Road Name/ Property Address

Post Office

USE TYPEWRITER OR BALLPOINT PEN (WRITE FIRMLY ON HARD SURFACE)

APPLICANT'S NAME William H. Colwell TELEPHONE NUMBER (717) 870 5186

LOCATED ON  NORTH  EAST  SOUTH WEST SIDE OF STREET  
SIZE OF LOT: 90 FT. FRONTAGE X 133 FT. DEEP 10,780 SQ. FT.  
OTHER BUILDINGS ON SAME LOT: House

### TOWN OF CLAYTON APPLICATION For ZONING PERMIT

IT IS PROPOSED TO:  ERECT  ALTER  EXTEND  LOCATE  MOVE  A FAMILY DWELLING  
 PRIVATE  GARAGE  APARTMENT  MOBILE HOME  RECREATIONAL VEHICLE  UTILITY BUILDING  OTHER  
BUILDING TO BE USED AS Sited. PROPOSED SIZE OF BUILDING 10 FT. WIDE X 14 FT. LONG 9.5 FT HIGH PROPOSED  
SQ. FT. FURTHER DESCRIPTION OF THE PROPOSED ACTIVITY EXPECT TO PURCHASE A PREFABRICATED Sited.

TOWN USE ONLY  
Permit issued \_\_\_\_\_  
Fee Paid \_\_\_\_\_  
Authorized Official \_\_\_\_\_

PROPOSED COST \$ 18,000.00 ESTIMATED DATE CONSTRUCTION TO BEGIN MAY / JUNE 2026  
IS PROPERTY LOCATED WITHIN FLOOD HAZARD AREA?  YES  NO

IN CONSIDERATION OF THE GRANTING OF THE PERMIT I AGREE TO ABIDE BY ALL BUILDING, ZONING & HEALTH ORDINANCES AND OTHER RULES AND REGULATIONS OF THE TOWN, AND NOT TO MAKE ANY CHANGES WITHOUT NOTIFYING THE TOWN CLERK, I ALSO DO HEARBY AFFIRM THAT THE ABOVE INFORMATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

William H. Colwell Owners Signature  
267 Oyster Shell Cove Owners Address  
Bethany Beach, DE 19930 Owners Address  
February 23, 2026 Date

Agents Signature \_\_\_\_\_ Agents Address \_\_\_\_\_  
Date \_\_\_\_\_



Images



Perspective



Perspective Back



Side A



Side C

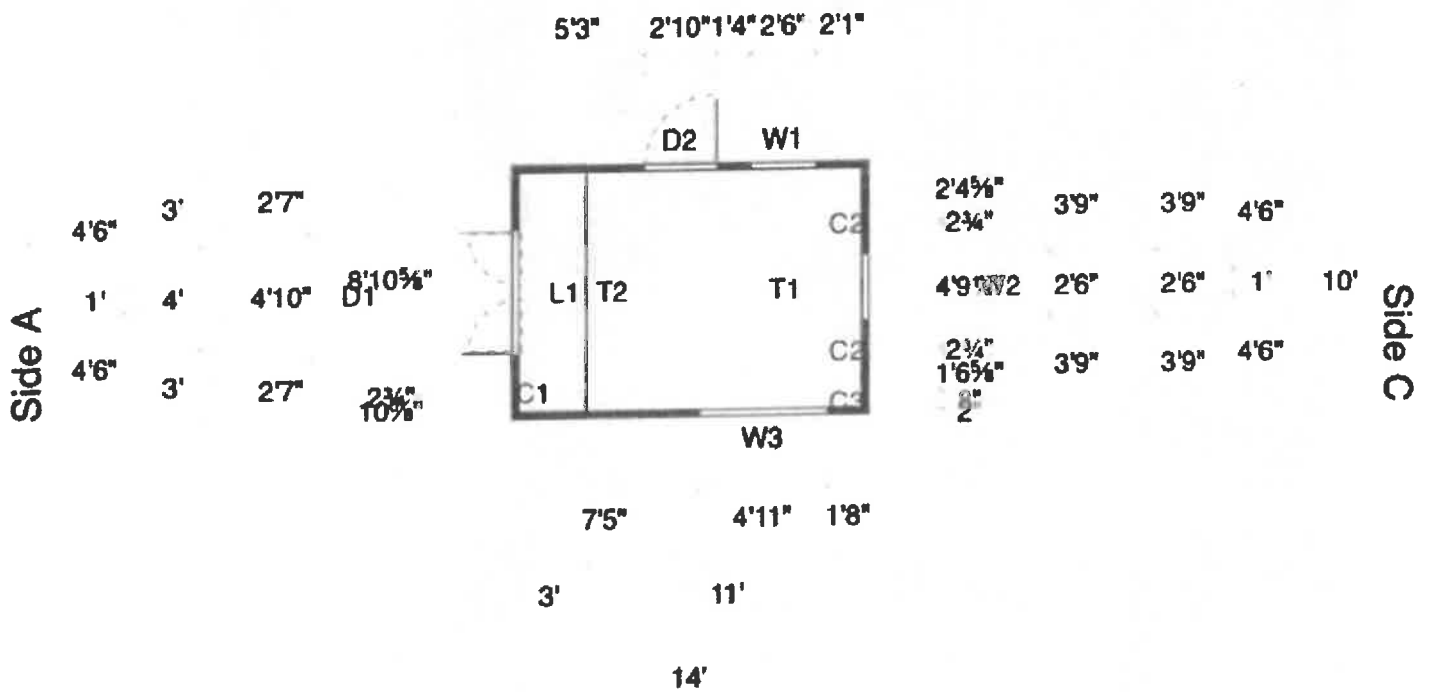


Side B

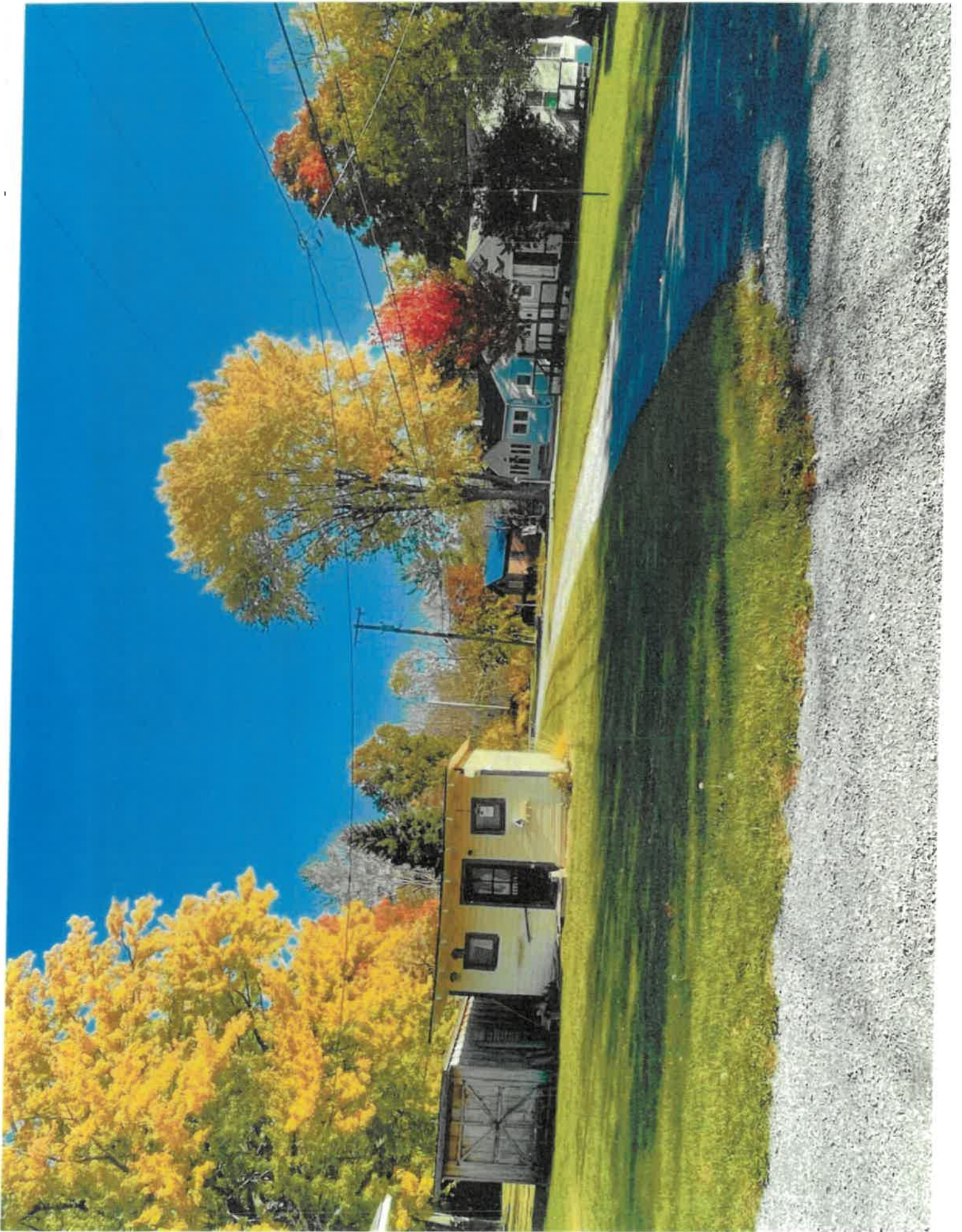


Side D

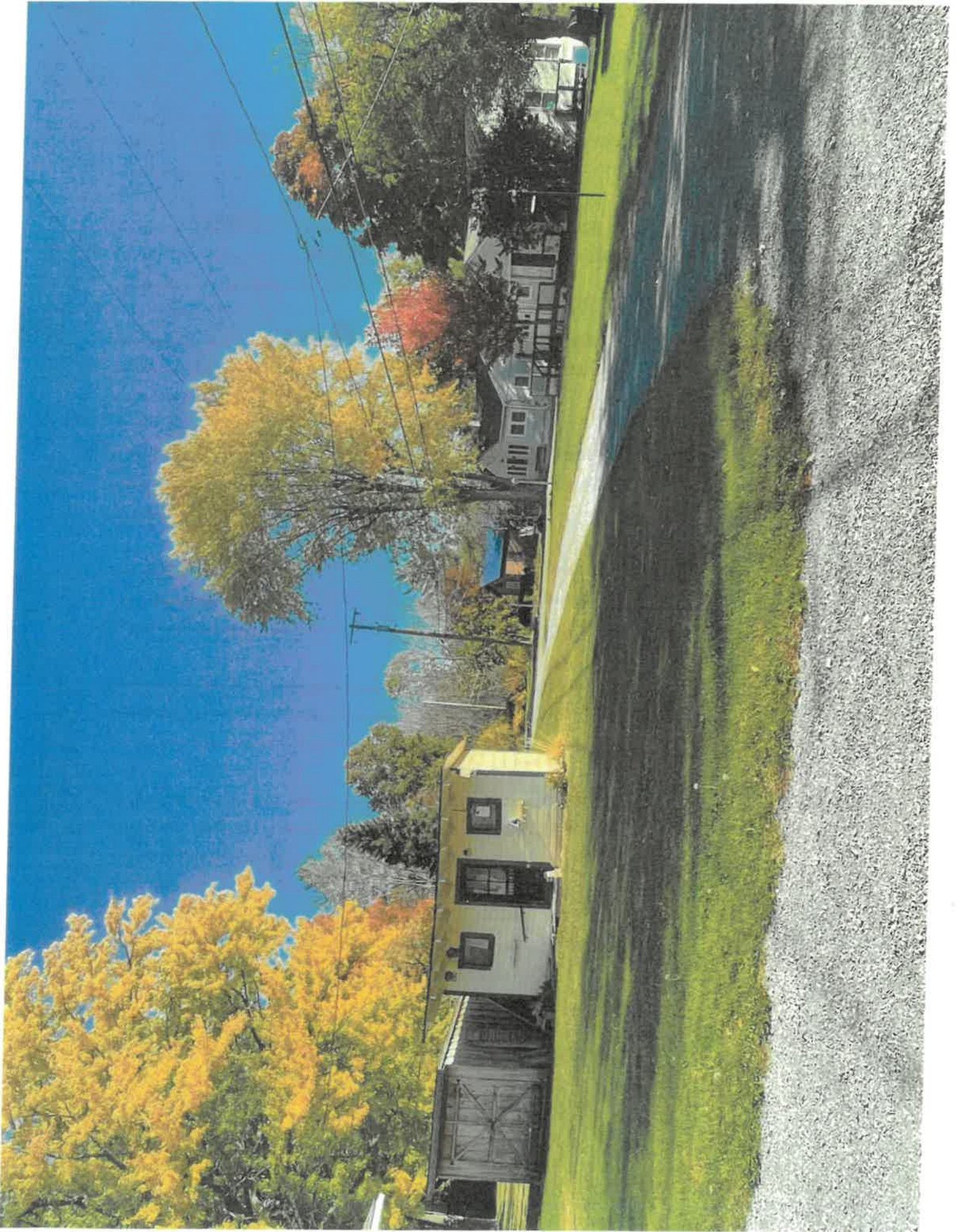
Side D











Tax# 12.20-2-21 Name: William H. Colwill  
**APPLICANT** Address: 17175 Blanchard Lane East  
Clayton NY 13624

**NEARBY LANDOWNERS**

Tax# 12.20-2-20 Name: Christopher N. Baldwin  
Address: 700 Tabbs Road  
Mexico NY 13114

Tax# 12.20-2-23 Name: Katherine McGowan  
Address: 4224 Pisces Cir  
Liverpool NY 13090

Tax# 12.20-2-45 Name: Paul R Brown  
Address: 294 Berkley Drive  
Montgomery TX 77356

Tax# 12.20-2-47 Name: Michael J. Mosier  
Address: 52 School Street  
Pittsburgh PA 15220

Tax# \_\_\_\_\_ Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Tax# \_\_\_\_\_ Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Tax# \_\_\_\_\_ Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Tax# \_\_\_\_\_ Name: \_\_\_\_\_  
Address: \_\_\_\_\_